

**ABSTRACT OF ASSESSMENT  
AND SUMMARY  
OF TAX RATES  
DOUGLAS COUNTY COLORADO  
1990**

CLASSIFICATION	VALUATION
VACANT LAND	128,464,130
<b>RESIDENTIAL</b>	
Improved Land	82,560,050
Improvements	277,519,830
Personal Property	678,580
Mobile Homes	556,590
<b>TOTAL</b>	<b>361,315,050</b>
<b>COMMERCIAL</b>	
Improved Land	29,427,360
Improvements	57,353,380
Personal Property	23,043,710
<b>TOTAL</b>	<b>109,824,450</b>
<b>INDUSTRIAL</b>	
Improved Land	5,807,310
Improvements	10,762,520
Personal Property	8,710,420
<b>TOTAL</b>	<b>25,280,250</b>
<b>AGRICULTURAL</b>	
Irrigated Farm Land	318,610
Dry Farm Land	351,810
Meadow Hay Land	65,190
Grazing Land	1,570,300
Other Land	533,510
Agricultural Imps	9,332,930
<b>TOTAL</b>	<b>12,172,350</b>
<b>NATURAL RESOURCES (Non-Metallic)</b>	
Earth/Stone Products	256,260
Timber	-0-
Severed Mineral	22,230
Personal Property	665,090
<b>TOTAL</b>	<b>943,580</b>
<b>NATURAL RESOURCES (Metallic)</b>	
None	

The 1990 Abstract figures are based on the Douglas County Tax Roll Values of January 8, 1991.

**THE ASSESSOR'S OFFICE is ready at all times to give courteous answers to inquiries pertaining to valuation and to adjust erroneous or illegal assessments. Please contact the ASSESSOR'S OFFICE if there is any question about your assessment.**

**SUMMARY**

TOTAL ASSESSMENT OF REAL PROPERTY	\$604,902,010
TOTAL ASSESSMENT OF PERSONAL PROPERTY	\$33,097,800
TOTAL ASSESSMENT BY COUNTY ASSESSOR	\$637,999,810
PUBLIC UTILITIES BY STATE ASSESSMENT	\$38,562,600
GRAND TOTAL ASSESSED VALUATION	\$676,562,410
TOTAL EXEMPT PROPERTY	\$120,683,990
TOTAL ASSESSED AND EXEMPT PROPERTY	\$797,246,400

**TAX RATES AND REVENUES  
NEW GROWTH VALUATIONS (NG)\***

SCHOOL DISTRICT	VALUATION	TAX RATE %	REVENUE
General Fund	667,795,176	4.1988	28,039,384
Capital Res.	-0-	-0-	-0-
Bond Redemption	667,795,176	1.1837	7,904,691
Insurance Reserve	-0-	-0-	-0-
<b>TOTAL</b>	<b>667,795,176</b>	<b>5.3825</b>	<b>35,944,075</b>
NEW GROWTH	8,767,193		
<b>GRAND TOTAL</b>	<b>676,562,369</b>		

**COUNTY**

	VALUATION	TAX RATE %	REVENUE
General Fund	667,795,176	0.8984	5,999,472
Road/ Bridge	667,795,176	0.5188	3,464,521
Social Service	667,795,176	0.0317	211,691
Capital Expend	667,795,176	0.1122	749,266
Library Fund	667,795,176	-0-	-0-
Debt Service	667,795,176	0.1160	774,642
<b>TOTAL</b>	<b>667,795,176</b>	<b>1.6771</b>	<b>11,199,592</b>
NEW GROWTH	8,767,193		
<b>GRAND TOTAL</b>	<b>676,562,369</b>		
Law Enforcement Authority	536,315,466	0.3457	1,854,043
NEW GROWTH	7,768,946		
Douglas County Library Dist.	667,795,176	0.2750	1,836,437
NEW GROWTH	8,767,193		

**TOWNS**

	VALUATION	TAX RATE %	REVENUE
Aurora	2,355	0.9883	23
New Growth	-0-		
Castle Rock	76,993,058	1.8581	1,430,608
New Growth	489,682		
Larkspur	1,238,091	1.5000	18,571
New Growth	-0-		
Littleton	1,484,907	0.5874	8,722
New Growth	-0-		
Parker	51,947,805	0.2742	142,441
New Growth	508,565		

**SPECIAL DISTRICTS**

NAME	REG. ASSD. VALUATION	TAX RATE %	REVENUE	N.G. ASSD. VALUATION
Antelope Springs Water & San	10,218	-0-	-0-	-0-
Bald Mountain Fire	1,783,475	0.6803	12,133	3,446
Bell Mtn Ranch Master Metro	55,783	0.4330	242	-0-
Bell Mtn Ranch Phase 2 Metro	4,933	2.8466	140	-0-
Bell Mtn Ranch Phase 3 Metro	32,283	1.1344	366	-0-
Bell Mtn Ranch Pk & Rec Metro	188,645	0.1676	316	-0-
Castle Pines Comm Metro #1	514	-0-	-0-	-0-
Castle Pines Comm Metro #2	50,808	-0-	-0-	-0-
Castle Pines Comm Metro #3	2,479	-0-	-0-	-0-
Castle Pines Comm Metro #4	23,267	-0-	-0-	-0-
Castle Pines Comm Metro #5	121,379	-0-	-0-	-0-
Castle Pines Metro Dist	23,558,176	2.9217	688,299	291,094
Castle Pines No Debt Svc	663,794	1.2862	8,538	-0-
Castle Pines No Metro Dist	15,552,607	2.3082	358,985	436,620
Castle Rock Fire	12,204,921	0.2500	30,512	17,718
Castleton Center Water & San	1,195,486	0.1501	1,794	-0-
Castlewood Fire Prot Dist	99,321,818	0.7252	720,282	911,612
Cedar Hill Cemetery	126,518,030	0.0716	90,587	954,880
Centennial Water & San	4,844	-0-	-0-	-0-
Cherry Creek Basin	259,643,616	0.0500	129,822	2,510,377
Cherry Creek So Metro #1	2,093,552	2.9871	62,536	298,713
Cherry Creek So Metro #2	33	-0-	-0-	-0-
Cottonwood Metropolitan	13,179,057	1.8100	238,541	16,489
Cottonwood Water & San	13,179,774	3.0000	395,393	16,489
Crystal Valley Metro #1	28,526	2.6294	750	-0-
Crystal Valley Metro #2	4,210	3.6220	152	-0-

**SPECIAL DISTRICTS cont'd**

NAME	REG. ASSD. VALUATION	TAX RATE %	REVENUE	N.G. ASSD. VALUATION
Dawson Ridge Metro #1	261,490	2.6945	7,046	-0-
Dawson Ridge Metro #2	3,520	3.7312	131	-0-
Dawson Ridge Metro #3	9,321	8.7513	816	-0-
Dawson Ridge Metro #4	2,688	2.6895	72	-0-
Dawson Ridge Metro #5	4,034	4.5847	185	-0-
Denver SE Sub Water & San	38,707,265	1.9000	735,438	342,928
Douglas County Metro Dist	48,974	8.7686	4,294	-0-
Franktown Fire	38,223,829	0.7533	287,940	262,054
Gondolier Farms Metro	959,242	-0-	-0-	-0-
High Prairie Farms Metro	711,809	3.6054	25,664	-0-
Highlands Ranch Metro #1	77,660,390	2.4250	1,883,264	2,306,130
Highlands Ranch Metro #2	61,325,696	2.4250	1,487,148	2,681,743
Highlands Ranch Metro #3	4,235	-0-	-0-	-0-
Highlands Ranch Metro #4	4,235	-0-	-0-	-0-
Highlands Ranch Water & San #1	77,660,390	-0-	-0-	2,306,130
Highlands Ranch Water & San #2	61,325,696	-0-	-0-	2,681,743
Inverness Metro Imp Dist	19,265,422	1.7500	337,145	406,387
Inverness Water & San	19,265,422	1.1300	217,699	406,387
Jackson-105 Fire Protection	10,577,494	0.4436	46,922	87,094
Larkspur Fire Protection	24,834,619	0.8844	219,637	72,887
Littleton Fire	2,881,331	0.6200	17,864	-0-
Louviers Fire	21,260,902	1.0988	233,615	55,323
Maheer Ranch Metro #1	6,206	-0-	-0-	-0-
Maheer Ranch Metro #2	287,141	-0-	-0-	-0-
Maheer Ranch Metro #3	219,210	-0-	-0-	-0-
Maheer Ranch Metro #4	203,987	-0-	-0-	-0-
Maheer Ranch Metro #5	306,345	-0-	-0-	-0-
McArthur Ranch Metro & Rec	1,677,790	0.2495	4,186	-0-
Meadows Metro #1	3,811,455	2.2000	83,852	123,676
Meadows Metro #2	723,698	2.2000	15,921	-0-
Meadows Metro #3	28,052	2.2000	617	-0-
Meadows Metro #4	242	2.2000	5	-0-
Meadows Metro #5	55,455	2.2000	1,220	-0-
Meadows Metro #6	5,880	2.2000	129	-0-
Meadows Metro #7	16,962	2.2000	373	-0-
Meridian Metro	19,836,527	2.3065	457,529	-0-
Mountain Community Fire	1,780,020	0.7086	12,613	6,445
North DC Water & San Dist	1,793,963	2.5995	46,634	-0-
Park Meadows Metro	28,711,472	1.9500	559,874	131,937
Parker Fire	189,686,775	1.1376	2,157,877	1,543,774
Parker Propt Metro #1	2,183,918	2.5318	55,292	152,327
Parker Water & San	43,069,985	0.8135	350,374	192,360
Perry Park Metro	8,765,587	0.6257	54,846	41,755
Perry Park Water	229,542	2.1835	5,012	-0-
Perry Park Water & San	12,740,014	3.3285	424,051	63,390
Plum Creek Metro	840,038	2.2000	18,481	-0-
Regional Transportation	335,243,036	-0-	-0-	6,553,138
Roxborough Park Fire	17,130,151	-0-	-0-	280,003
Roxborough Park Metro	17,332,562	1.8804	325,921	280,003
Roxborough Village Metro	6,887,100	2.5095	172,832	193,290
Silver Heights Water & San	2,845,915	-0-	-0-	880
South Sub Metro Rec & Park	36,826,412	0.6367	234,474	110,261
Southgate Sanitation	44,782,460	0.1079	48,320	144,314
Southgate Water	44,782,460	0.5431	243,214	144,314
South Park Metro	1,135,782	2.5000	28,395	-0-
SW Metro Water & San	2,534,527	0.6398	16,216	-0-
Stonegate Center Metro	341,532	2.9000	9,904	-0-
Stonegate Village Metro	2,839,697	2.2500	63,893	205,435
Thunderbird Water & San	3,389,370	1.3699	46,431	14,336
Upper Cherry Creek Metro	2,732,693	2.8000	76,515	-0-
Upper South Platte Water Cns	3,730,519	0.0117	436	7,067
Urban Drainage & Flood Ctrl	477,249,488	0.0624	297,804	7,647,396
Urban Drainage & Fld So Pit	477,249,488	0.0075	35,794	7,647,396

**SPECIAL DISTRICTS cont'd**

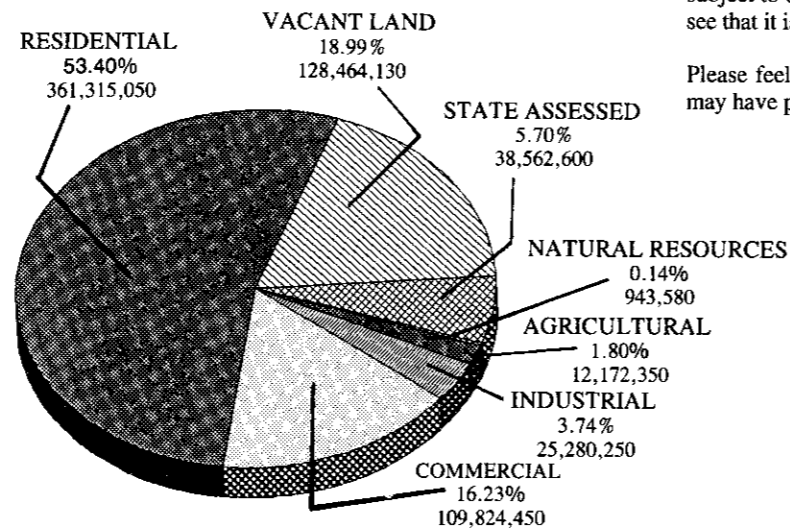
NAME	REG. ASSD. VALUATION	TAX RATE %	REVENUE	N.G. ASSD. VALUATION
Villages @ CR Metro #1	8,200,043	3.2000	262,401	207,683
Villages @ CR Metro #2	17,227	4.9288	849	-0-
Villages @ CR Metro #3	15,368	3.0342	466	-0-
Villages @ CR Metro #4	77,133	1.0058	776	-0-
Villages @ CR Metro #5	23,311	3.4952	815	-0-
Villages @ CR Metro #6	725,437	2.0000	14,509	-0-
Villages @ CR Metro #7	2,172,232	3.2000	69,511	52,087
Villages @ CR Metro #8	260,373	-0-	-0-	-0-
Villages @ CR Metro #9	2,377	-0-	-0-	-0-
West Douglas Fire	14,419,721	0.7158	106,216	26,984
West Creek Lakes Water	743,628	1.8385	13,672	1,905
Westfield Metro #1	142,313	4.1380	5,889	-0-
Westfield Metro #2	28,909	4.5000	1,301	-0-

\*NEW GROWTH VALUATIONS (HB1006) refer to the provisions of CRS 39-5-132 implemented by Douglas County which provides for the inclusion of New Construction occurring after January 1 and prior to July 1 in the tax roll for the current year.

The intent of this legislation is to mitigate the impact of growth in the local schools by adding the value of newly constructed buildings to the tax roll earlier. The revenue generated from the affected properties will be utilized for capital improvements for all local taxing entities.

ABSTRACT OF ASSESSMENT AND TAX RATES FOR DOUGLAS COUNTY, COLORADO FOR 1990, HAS BEEN APPROVED BY THE COUNTY BOARD OF EQUALIZATION, COLORADO DIVISION OF PROPERTY TAXATION, AND THE STATE BOARD OF EQUALIZATION.

**1990 DISTRIBUTION OF VALUATION BY CLASSIFICATION**



**GENERAL INFORMATION**

It is the Assessor's duty, as prescribed by Colorado State Statutes, to uniformly and equitably arrive at assessed valuations on all property located within his or her jurisdiction. For the years 1991-1992 all property will reflect a value as of June 30, 1990. All property except residential is assessed at 29%. The residential assessment rate is subject to change by the legislature every two years. The 1990 residential rate is 15%.

Notice of changed valuations for real property are mailed to land and building owners by May 1 of each year. The Assessor will hear objections beginning on May 1 and will conclude said hearings by June 1. Notice of increased valuations for personal property owners are mailed by June 15 each year. The Assessor will conclude said hearings by July 5. The Assessor, by law, cannot hear objections for personal property assessments after July 5.

The Assessor does not set taxes. The school taxes are levied by the School District Board; the Special District taxes are levied by the Special District Directors; and the County tax is levied by the Board of Commissioners. After the various tax rates are received by the Assessor, it is the Assessor's duty to compute the taxes upon the assessed valuation of the property and then certify and deliver the tax roll to the County Treasurer for collection.

Taxes are due January 1st and may be paid in two equal payments. To avoid interest charges, the first half must be paid by February 28; the second half must be paid by July 31. If the taxes are to be fully paid in one installment, payment must be received by April 30.

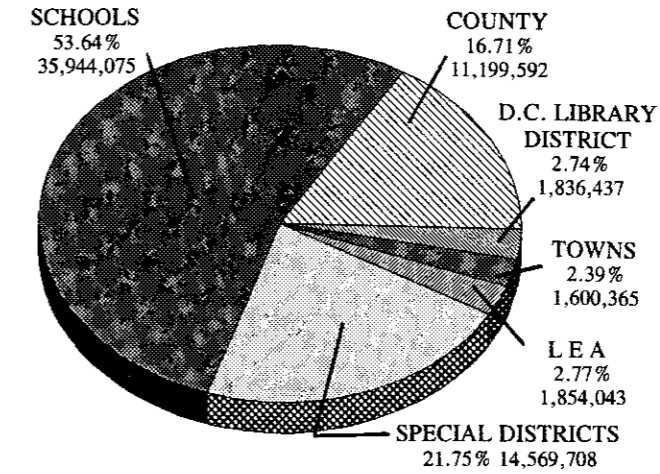
**IMPORTANT INFORMATION**

All property, except that specifically exempted by law, is subject to taxation, and it is the responsibility of the owner to see that it is listed with the Assessor.

Please feel free to contact this office with any questions you may have pertaining to your valuation.

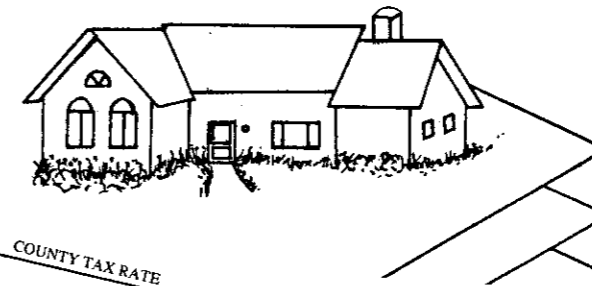
**1990 DISTRIBUTION OF TAXES**

**ALLOCATION OF YOUR PROPERTY TAX DOLLAR**



**TAX RATE**

Where you live within a county determines the taxing jurisdictions to which you will pay your taxes.



COUNTY TAX RATE	COUNTY TAX RATE	1.6771%
CITY TAX RATE	CITY TAX RATE	1.8581%
SCHOOL DISTRICT TAX RATE	SCHOOL DISTRICT TAX RATE	5.3825%
WATER & SANITATION TAX RATE	WATER & SANITATION TAX RATE	0.5431%
DOUGLAS COUNTY LIBRARY	DOUGLAS COUNTY LIBRARY	0.2750%
<b>TOTAL TAX RATE</b>		<b>9.7358%</b>

**PROPERTY TAXES**

The total Tax Rate which is applied to Mr. Smith's home is 9.7358%.

Assessed Value x Tax Rate = Property Taxes  
 $\$15,552 \times 9.7358\% = \$1,514.11$

**ABSTRACT OF ASSESSMENT AND SUMMARY OF TAX RATES**

**1990**



*Ginger K. Chase*  
**Douglas County Assessor**

301 Wilcox  
 Castle Rock, CO 80104  
 660-7450